

**ORDINANCE NO. 05-17**

**TO AMEND CERTAIN PORTIONS OF THE UNIFIED ZONING ORDINANCE OF TIPPECANOE COUNTY, INDIANA, DESIGNATING THE TIME WHEN THE SAME SHALL TAKE EFFECT.**

**BE IT ORDAINED BY THE COMMON COUNCIL OF THE CITY OF WEST LAFAYETTE, INDIANA, THAT ORDINANCE NO. 32-97 IS HEREBY AMENDED AS FOLLOWS:**

**Section 1:** Ordinance No. 32-97 of the City of West Lafayette, Indiana, is hereby amended to rezone the following described real estate, to wit:

**SEE LEGAL DESCRIPTION ATTACHED HERETO**

**Section 2:** Said real estate is hereby rezoned as follows:

FROM: CBW District  
TO: PDMX District

**Section 3:** This ordinance shall be in full force and effect from and after its passage and signing by the Mayor.

INTRODUCED ON FIRST READING ON THE 6 DAY OF March, 2017.

MOTION TO ADOPT MADE BY COUNCILOR Keen, AND SECONDED BY COUNCILOR DeBoer.

DULY ORDAINED, PASSED, AND ADOPTED BY THE COMMON COUNCIL OF THE CITY OF WEST LAFAYETTE, INDIANA, ON THE 6 DAY OF March, 2017, HAVING BEEN PASSED BY A VOTE OF 8 IN FAVOR AND 1 OPPOSED, THE ROLL CALL VOTE BEING:

	AYE	NAY	ABSENT	ABSTAIN
Bunder	✓			
DeBoer	✓			
Dietrich	✓			
Jha	✓			
Keen	✓			
Leverenz	✓			
Sanders		✓		
Thomas	✓			
Wang	✓			

  
Peter Bunder, Presiding Officer

Attest:

Sana G. Booker  
Sana G. Booker, Clerk



PRESENTED BY ME TO THE MAYOR OF THE CITY OF WEST LAFAYETTE, INDIANA ON THE 8 DAY OF March, 2017.

Sana G. Booker  
Sana G. Booker, Clerk

THIS ORDINANCE APPROVED AND SIGNED BY ME ON THE 9 DAY OF March, 2017.

John R. Dennis  
John R. Dennis, Mayor

Attest:

Sana G. Booker  
Sana G. Booker, Clerk



Ordinance No. 05-17  
LEGAL DESCRIPTION

TRACT 1

A part of Lots fifty-five (55) and fifty-six (56) in the Original Plat of Chauncey, now West Lafayette, described as follows, to-wit: Beginning at the Southwest corner of said Lot fifty-six (56), and running thence in a southeasterly direction along the southwesterly line of said Lots fifty-five (55) and fifty-six (56) a distance of one hundred forty-two (142) feet, more or less, to a point fifty-five (55) feet from the southeasterly line of said Lot fifty-five (55); thence in a northeasterly direction parallel to and fifty-five (55) feet from the southeasterly side of said Lot fifty-five (55) a distance of seventy-five (75) feet; thence in a northwesterly direction a distance of one hundred thirty-five (135) feet, more or less, to a point on the northwesterly line of said Lot fifty-six (56) on Chauncey Avenue, fifty (50) feet from the place of beginning; thence in a southwesterly direction fifty (50) feet along the northwesterly line of said Lot fifty-six (56) to the place of beginning.

EXCEPT a part of Lot number 56 in Part of the Original Plat of Chauncey in West Lafayette, Tippecanoe County, Indiana further described as follows:

Commencing at the southwestern corner of said Lot 56; thence north 19 °05'00" East (assumed bearing) on the westerly line of said Lot 56 for 172.00 feet to the point of beginning; thence continuing North 19°05'00" East on the westerly line of said Lot 56 for 28.00 feet to the northwestern corner of said Lot 56; thence South 55°02'00" East on the northerly line of said Lot 56 for 92.50 feet thence South 34°58'00" West for 3.50 feet; thence North 59°26'08" West for 64.0 feet; thence North 80°35'33" West for 14.56 feet; thence South 67°46'50" west for 14.56 feet to the point of beginning, containing 799 square feet, more or less.

ALSO EXCEPT A part of Lots 55 and 56 in the Original Plat of the Town of Chauncey (now City of West Lafayette), Indiana, the plat of which is recorded in Deed Record 43, page 278, in the Office of the Recorder of Tippecanoe County, Indiana, and being that part of the grantor's land lying within the right-of-way lines depicted on the Right-of-Way Parcel Plat recorded June 8, 2016 as Document No. 201616009855, marked Exhibit "B", described as follows: Beginning at a point on the western line of said Lot 56 South 18 degrees 12 minutes 03 seconds West 28.00 feet from the northwest corner of said Lot 56, which point of beginning is on the southeastern boundary of the intersection of Chauncey Avenue and State Street as established by Instrument Number 91-06917; thence North 66 degrees 52 minutes 13 seconds East 14.52 feet (14.56 feet by said Instrument Number 91-06917) along the boundary of said intersection; thence South 81 degrees 22 minutes 01 second East 14.56 feet along said boundary; thence South 60 degrees 12 minutes 36 seconds East 64.00 feet along the southwestern boundary of said State Street; thence North 34 degrees 11 minutes 32 seconds East 3.50 feet along the boundary of said State Street to the northeastern line of said Lot 56; thence South 55 degrees 48 minutes 28 seconds East 109.30 feet along said northeastern line and along the northeastern line of said Lot 55 to the northeast corner of said Lot 55; thence South 20 degrees 34 minutes 37 seconds West 15.43 feet along the eastern line of said Lot 55; thence North 55 degrees 48 minutes 28 seconds West 179.68 feet to point "1042" designated on said parcel plat; thence South 57 degrees 23 minutes 34 seconds West 32.64 feet to point "1041" designated on said parcel plat on the western line of said Lot 56; thence North 18 degrees 12 minutes 03 seconds East 18.81 feet along said western line to the point of beginning and containing 2,545 square feet, more or less.

TRACT 2

Lots numbered fifty-five (55) and fifty-six (56) in the Original Plat of Chauncey, (now West Lafayette). EXCEPT a part of lots fifty-five (55) and fifty-six (56) in the Original Plat of Chauncey, now West Lafayette, described as follows, to-wit: Beginning at the Southwest corner of said Lot fifty-six (56) and running thence in a Southeasterly direction along the southwesterly line of said Lots fifty-five (55) and fifty-six (56) a distance of one hundred and forty-two (142) feet more or less to a point fifty-five (55) feet

from the southeasterly line of said Lot fifty-five (55); thence in a Northeasterly direction parallel to and fifty-five (55) feet from the southeasterly side of said Lot fifty-five (55) a distance of seventy-five (75) feet; thence in a Northwesterly direction a distance of one hundred and thirty-five (135) feet more or less to a point on the Northwesterly line of said Lot fifty-six (56) on Chauncey Avenue fifty (50) feet from the place of beginning thence in a Southwesterly direction fifty (50) feet along the northwesterly line of said lot fifty-six (56) to the place of beginning. That part of said Plat on which said lots are located is laid out on a part of the North East quarter of the south East quarter of Section nineteen (19) in Township twenty-three (23) North, Range four (4) West.

20 NORTH 3RD STREET  
LAFAYETTE, INDIANA 47901-1209

(765) 423-9242  
(765) 423-9154 [FAX]  
www.tippecanoe.in.gov/apc

SALLIE DELL FAHEY  
EXECUTIVE DIRECTOR

February 16, 2017  
Ref. No: 17-036

West Lafayette Common Council  
c/o Clerk  
222 North Chauncey, Room 101  
West Lafayette, IN 47906

## CERTIFICATION

**RE: Z-2676--CASL HOLDINGS, LLC--DAN HRANKOWSKY (Rise at Chauncey PD)(CBW to PDMX):**

Petitioner is requesting rezoning of approximately 0.85 acres to construct a mixed-use building that steps from a ground floor retail podium into three wings at a height of 13-stories (west wing), 15-stories (east wing) and 16-stories (south wing). In all, the building would contain a maximum of 300 units with 675 bedrooms, approximately 21,000 square feet of ground floor retail, and a 217 space internal parking garage. The property is located at 100 S. Chauncey Avenue on the southeast corner of State Street and S. Chauncey Avenue, West Lafayette, Wabash 19 (NE) 23-4.

Dear Council:

As Secretary to the Area Plan Commission of Tippecanoe County, I do hereby certify that at a public hearing held on February 15, 2017, the Area Plan Commission of Tippecanoe County voted 13 yes – 0 no to APPROVE the motion to rezone the subject real estate from CBW to PDMX. Therefore, the Area Plan Commission of Tippecanoe County recommends to the West Lafayette Common Council that the proposed rezoning ordinance be APPROVED for the property described in the attachment, contingent on meeting all requirements of UZO 2-28-10 for submission of Final Detailed Plans, signed off by those noted in that section to include:

1. All sheets (other than preliminary plat) that make up the approved Preliminary Plan;
2. PD construction plans per UZO Appendix B-2;
3. A final plat per UZO Appendix B-3 as applicable;
4. Appropriate surety submitted with final detailed plans;
5. Final grading plan shall be in general conformance with the approved Preliminary Plans and be subject to the approval of the Administrative Officer with the submission of the Final Detailed Plans;
6. Plant schedule approved by the West Lafayette Greenspace Administrator that is in conformance with the approved Preliminary Plan. Final design of all landscape

Public Notice has been given that this petition will be heard before the West Lafayette Common Council at its March 6, 2017 regular meeting.

Sincerely,

A handwritten signature in cursive script that reads "Sallie Dell Fahey".

Sallie Dell Fahey  
Executive Director

SDF/lmu

Enclosures: Planned Development drawings and Ordinances

cc: Dan Hrankowsky, CASL Holding  
Daniel Teder  
Indiana District of the Lutheran Church  
TBIRD  
Ed Garrison, West Lafayette City Engineer

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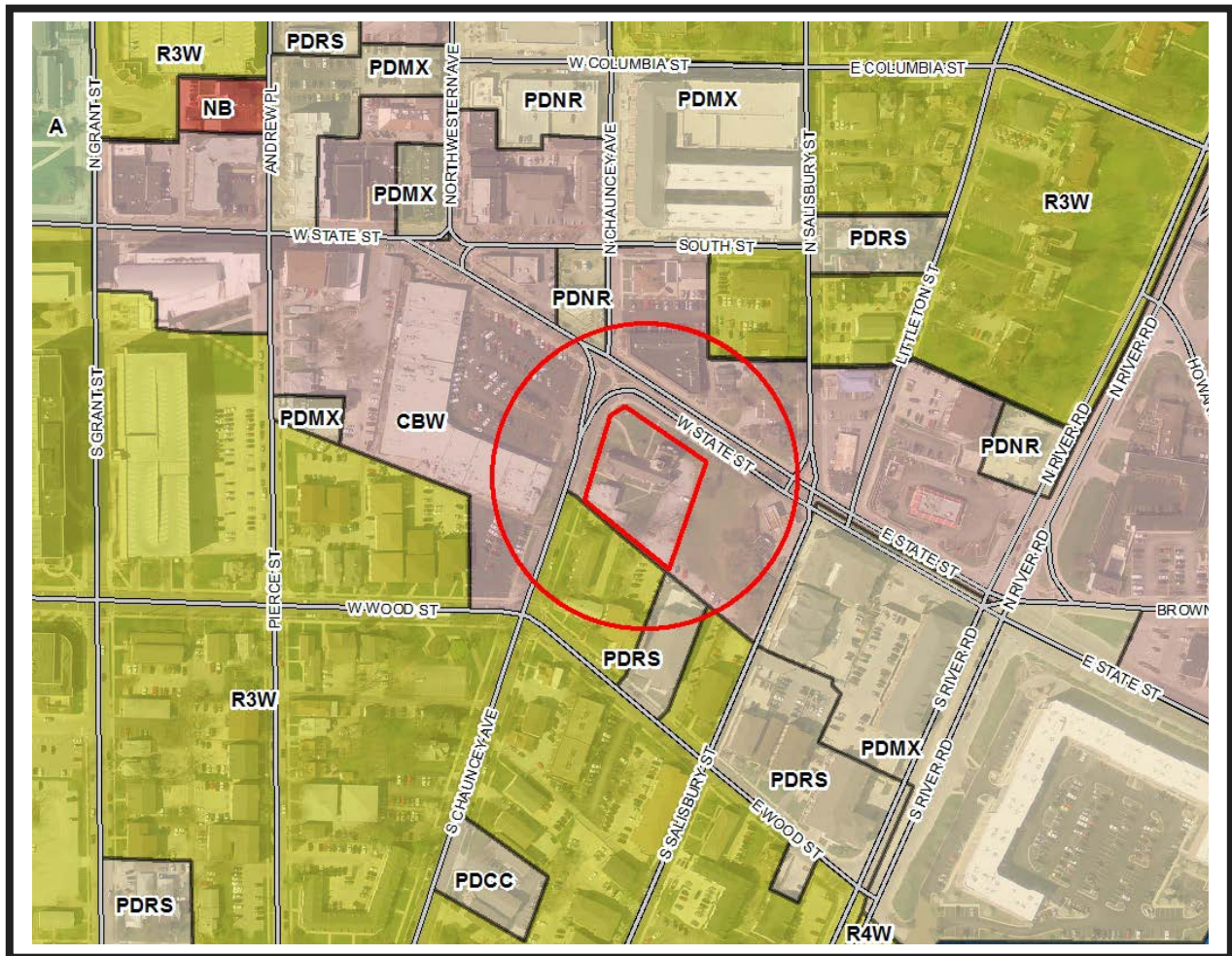
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**Z-2676**  
**CASL HOLDINGS, LLC-DAN HRANKOWSKY**  
**(Rise at Chauncey PD)**  
**(CBW to PDMX)**

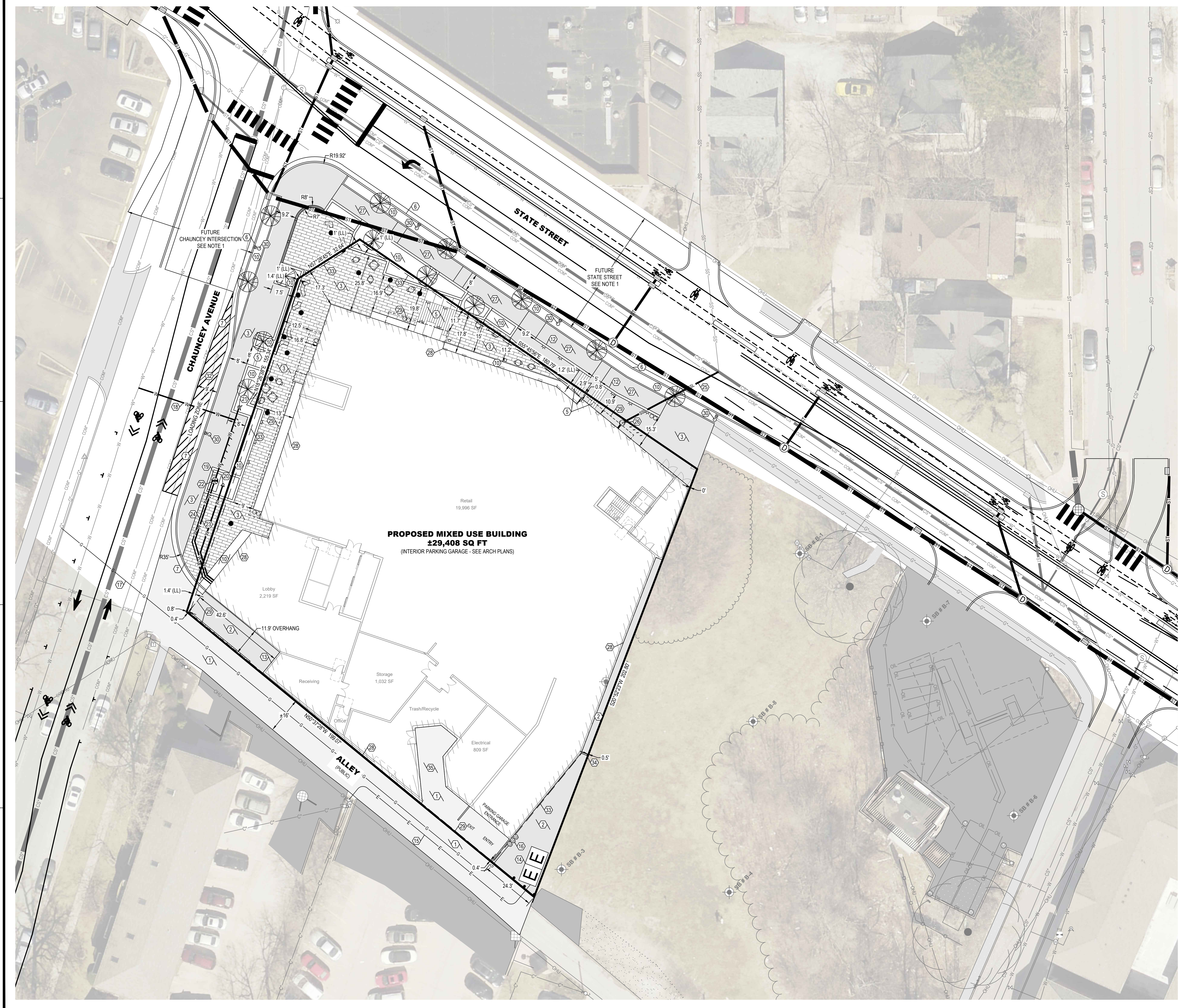
**STAFF REPORT**  
**February 9, 2017**

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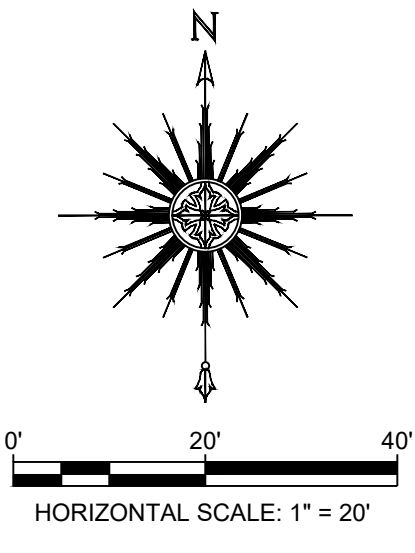
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FILE: P:201616084 100 S Chauncey Drawings Final Plans SFD 0116084 SITE.dwg USER: CLEVINUS DATE: Friday, February 3, 2017 1:57:08 PM



**PROPOSED MIXED USE BUILDING**  
**129,408 SQ FT**  
 (INTERIOR PARKING GARAGE - SEE ARCH PLANS)



**SITE DATA**

BUILDING COVERAGE	±81%
IMPERVIOUS COVERAGE	±98%
VEGETATIVE COVERAGE	±2%

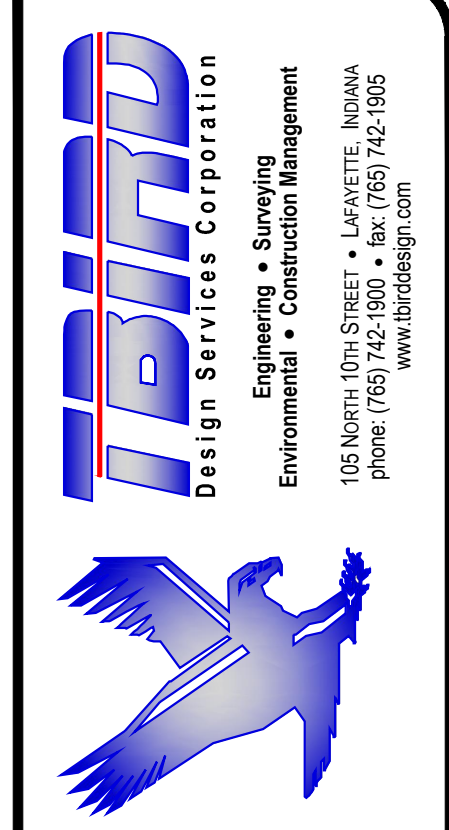
**NOTES**

- ALL STREETScape ELEMENTS BEHIND THE BACK OF CURB IS EXPECTED TO BE CONSTRUCTED WITH THE SUBJECT PROJECT. THE DEPICTION OF THE FUTURE STATE STREET AS WELL AS THE FUTURE STATE STREET AND CHAUNCEY AVENUE INTERSECTION IS PER JANSENS & SPANS DRAWINGS RECEIVED DECEMBER 2, 2016. ELEMENTS OF THIS PROJECT IS SUBJECT TO CHANGE TO REFLECT THE FUTURE STATE STREET DESIGN CHANGES.
- REFER TO LANDSCAPE MATERIALS PLANS SHEETS L100 FOR STREETScape ELEMENTS SUCH AS BIKE RACKS, TABLES, BENCHES, GARBAGE DISPOSALS, ETC.
- REFER TO SITE LIGHTING AND / OR LANDSCAPE PLANS FOR SITE LIGHTING DETAILS
- REFER TO L200 FOR PROPOSED TREE AND VEGETATION DETAILS

**KEYNOTE INDEX**

MARK	DATE	DESCRIPTION
1		ASPHALT PAVEMENT
2		CONCRETE PAVEMENT
3		HARDSCAPE SURFACE. SEE L100
4		NA
5		CONCRETE STEPS
6		FUTURE CURB. CURB TO BE CONSTRUCTED WITH THE STATE STREET PROJECT
7		CONCRETE CURB & GUTTER
8		NA
9		NA
10		LANDSCAPE PLANTER / RETAINING WALL. SEE L100 / L200
11		NA
12		RETAINING WALL
13		LOADING DOCK
14		ELECTRICAL TRANSFORMERS ON CONCRETE PAD
15		ELECTRICAL SERVICE LINE
16		GAS METERS
17		GAS SERVICE LINE
18		WATER SERVICE LINE
19		WATER VAULT
20		FIRE DEPARTMENT CONNECTION
21		FIRE HYDRANT
22		POST INDICATOR VALVE
23		8" FIRE PROTECTION MAIN
24		4" DOMESTIC WATER MAIN
25		8" SANITARY SEWER LATERAL
26		CLEANOUT
27		ACCESSIBLE RAMP
28		BUILDING LINE
29		BUILDING OVERHANG
30		STREETLIGHTS PER FUTURE STATE STREET PROJECT. LIGHTS TO BE INSTALLED AT THE TIME OF THE ONSITE STREETScape CONSTRUCTION
31		NA
32		LOADING ZONE POTENTIALLY TO BE USED AS A FUTURE BUS STOP
33		PROPOSED LOWER LEVEL BUILDING LINE - SUBSURFACE (LL) (TYP)
34		WING WALL (SEE ARCHITECTURAL PLANS)
35		TRASH DISPOSAL BAY

**RISE AT CHAUNCEY**  
**PLANNED DEVELOPMENT**  
 FOR  
**CA VENTURES**  
**130 E RANDOLPH STREET - SUITE 2100**  
**CHICAGO, IL 60601**



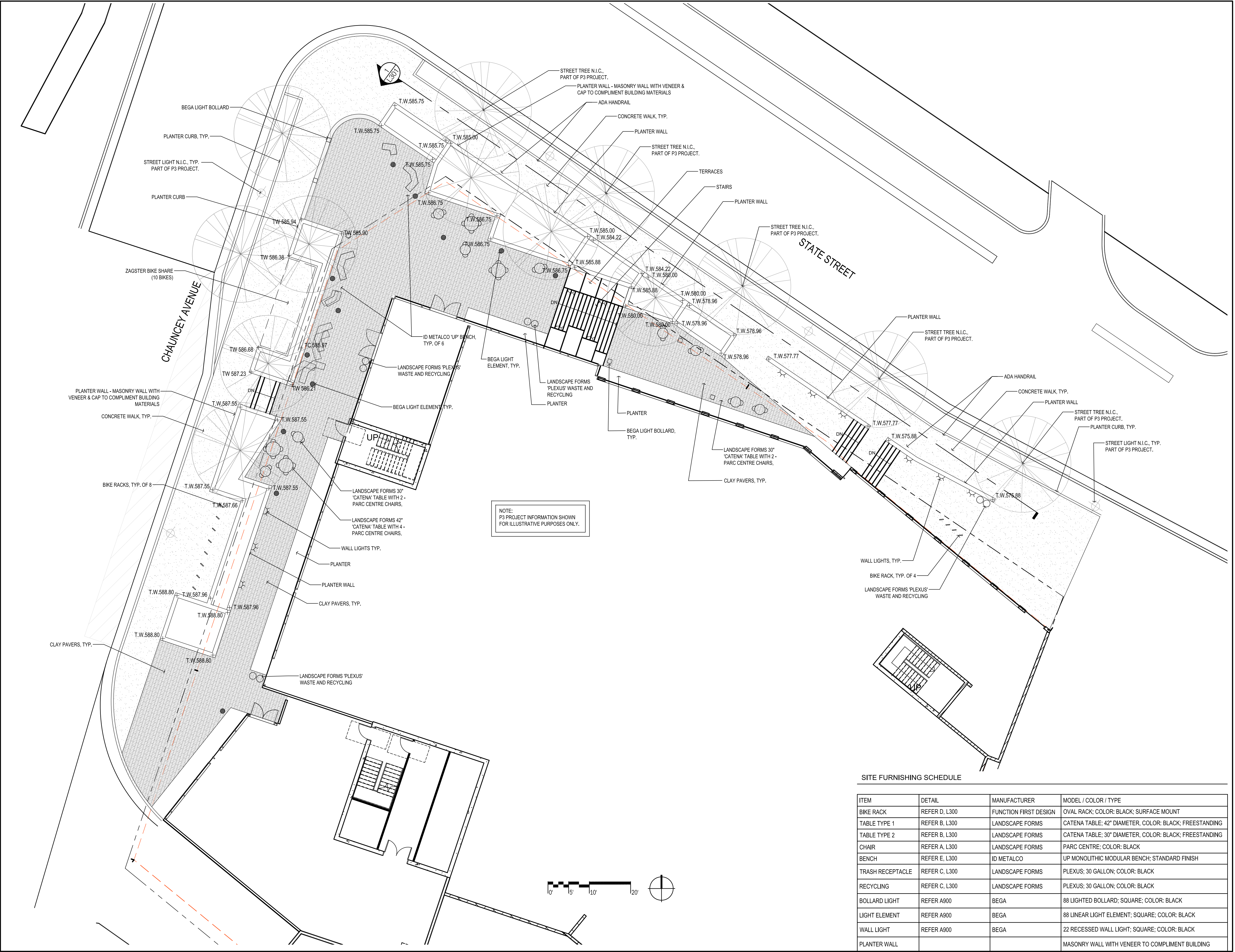
CERTIFIED BY:

PROJECT NO: **16084**  
 FILE: 16084-SITE.DWG  
 DRAWN BY: MGF  
 CHECKED BY: CSK  
 LOCATION:  
 LOTS 55 & 56 IN THE ORIGINAL PLAT OF CHAUNCEY, IN A PART OF THE NE QUARTER OF SECTION 19, TOWNSHIP 23 NORTH, RANGE 4 W, WABASH TOWNSHIP, TIPPECANOE COUNTY, INDIANA

**SITE PLAN**

**C102**

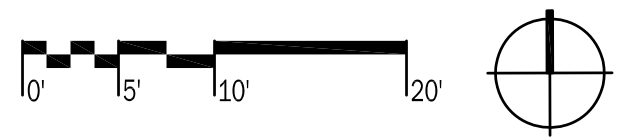




NOTE:  
 P3 PROJECT INFORMATION SHOWN  
 FOR ILLUSTRATIVE PURPOSES ONLY.

SITE FURNISHING SCHEDULE

ITEM	DETAIL	MANUFACTURER	MODEL / COLOR / TYPE
BIKE RACK	REFER D, L300	FUNCTION FIRST DESIGN	OVAL RACK; COLOR: BLACK; SURFACE MOUNT
TABLE TYPE 1	REFER B, L300	LANDSCAPE FORMS	CATENA TABLE; 42" DIAMETER, COLOR: BLACK; FREESTANDING
TABLE TYPE 2	REFER B, L300	LANDSCAPE FORMS	CATENA TABLE; 30" DIAMETER, COLOR: BLACK; FREESTANDING
CHAIR	REFER A, L300	LANDSCAPE FORMS	PARC CENTRE; COLOR: BLACK
BENCH	REFER E, L300	ID METALCO	UP MONOLITHIC MODULAR BENCH; STANDARD FINISH
TRASH RECEPTACLE	REFER C, L300	LANDSCAPE FORMS	PLEXUS; 30 GALLON; COLOR: BLACK
RECYCLING	REFER C, L300	LANDSCAPE FORMS	PLEXUS; 30 GALLON; COLOR: BLACK
BOLLARD LIGHT	REFER A900	BEGA	88 LIGHTED BOLLARD; SQUARE; COLOR: BLACK
LIGHT ELEMENT	REFER A900	BEGA	88 LINEAR LIGHT ELEMENT; SQUARE; COLOR: BLACK
WALL LIGHT	REFER A900	BEGA	22 RECESSED WALL LIGHT; SQUARE; COLOR: BLACK
PLANTER WALL			MASONRY WALL WITH VENEER TO COMPLIMENT BUILDING



NO.	DATE	DESCRIPTION

KEY PLAN

**CA VENTURES**  
 OWNER

**Rise at Chauncey**  
 PROJECT  
 100 S. Chauncey Ave.  
 West Lafayette, IN 47906

**MATERIALS PLAN**  
 DRAWING TITLE

SCALE DATE 2-3-2017

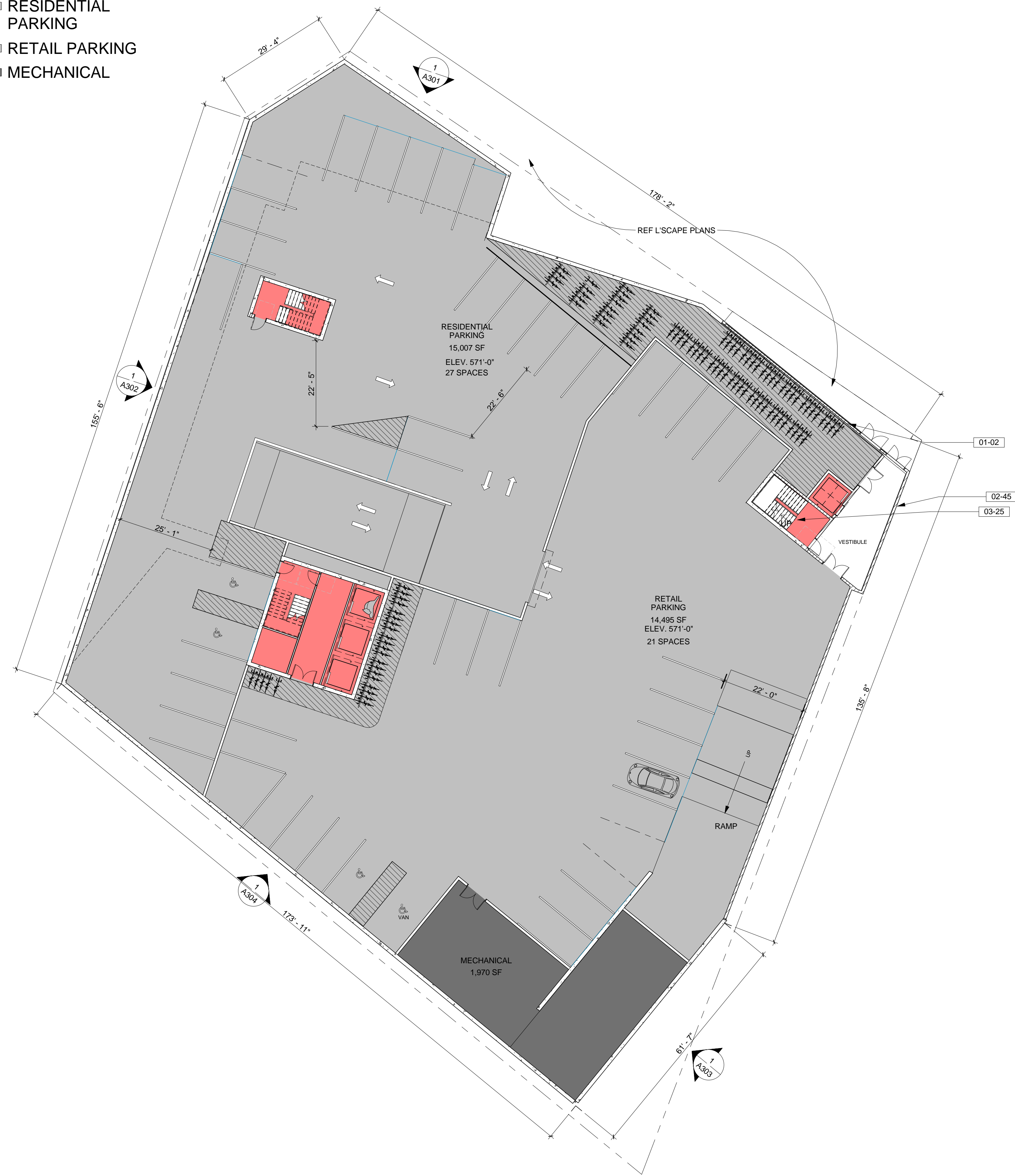
JOB NUMBER 4100

SUBMISSION

**L100**  
 DRAWING NUMBER

**ROOM LEGEND**

- Vert Circ
- RESIDENTIAL PARKING
- RETAIL PARKING
- MECHANICAL



**GENERAL NOTES**

1. SEE SHEET G001 FOR BUILDING AND PARKING SUMMARY
2. SEE SHEET G001 FOR GROSS AREA SCHEDULE
3. ALL PARKING GARAGES SHALL HAVE MINIMUM 7'-4" CLEARANCE AT ENTRANCES AND AISLES.
4. GARAGES SHALL COMPLY WITH MINIMUM FOOTCANDLE LIGHTING PER BUILDING AND ELECTRICAL CODE. THIS WILL BE SHOWN ON THE CONSTRUCTION PLANS.
5. DIRECTIONAL PAVEMENT MARKING AND SIGNAGE INDICATING TRAFFIC FLOW SHALL BE INCLUDED IN THE CONSTRUCTION PLANS.
6. FINAL GARAGE LIGHTING DETAILS SHALL BE APPROVED BY THE ADMINISTRATIVE OFFICER WITH THE SUBMISSION OF THE FINAL DETAILED PLANS.

FINAL GARAGE LIGHTING DETAILS SHALL BE APPROVED BY THE ADMINISTRATIVE OFFICER WITH THE SUBMISSION OF THE FINAL DETAILED PLANS

**KEYNOTE LEGEND**

- 01-02 LOWER LEVEL RETAIL ENTRY
- 02-45 PROPERTY LINE
- 03-25 CONCRETE STAIR CORE

**1 LOWER LEVEL PLAN**  
SCALE 1/16" = 1'-0"

**Shepley Bulfinch**

Shepley Bulfinch Richardson & Abbott  
Architecture / Planning / Interiors / Est. 1874  
2 Seaport Lane  
Boston, MA 02210  
T: 617.423.1700 | F: 800.934.9691  
www.ShepleyBulfinch.com

NO.	DATE	DESCRIPTION

KEY PLAN

**CA VENTURES**

OWNER

**Rise at Chauncey**  
100 S. Chauncey Ave.  
West Lafayette, IN 47906

PROJECT

**LOWER LEVEL FLOOR PLAN**

DRAWING TITLE

SCALE	As indicated
DATE	2016-12-16
JOB NUMBER	4100
SUBMISSION	

A100c

DRAWING NUMBER

**ROOM LEGEND**

- Retail
- Vert Circ
- Lobby
- Storage
- Receiving
- Trash/Recycle
- Trash
- Office
- Electrical

**GENERAL NOTES**

1. SEE SHEET G001 FOR BUILDING AND PARKING SUMMARY
2. SEE SHEET G001 FOR GROSS AREA SCHEDULE
3. ALL PARKING GARAGES SHALL HAVE MINIMUM 7'-4" CLEARANCE AT ENTRANCES AND AISLES.
4. GARAGES SHALL COMPLY WITH MINIMUM FOOTCANDLE LIGHTING PER BUILDING AND ELECTRICAL CODE. THIS WILL BE SHOWN ON THE CONSTRUCTION PLANS.
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6. FINAL GARAGE LIGHTING DETAILS SHALL BE APPROVED BY THE ADMINISTRATIVE OFFICER WITH THE SUBMISSION OF THE FINAL DETAILED PLANS.

**KEYNOTE LEGEND**

- |       |  |
|-------|--|
| 01-02 | LOWER LEVEL RETAIL ENTRY   |
| 02-22 | ELECTRICAL TRANSFORMERS  |
| 02-46 | BENCH  |
| 03-26 | CONCRETE STAIR/ELEVATOR CORE   |
| 08-01 | ALUMINUM WINDOW GLAZING SYSTEM, CLEAR INSULATED LOW-E DUAL PANE, BLACK FRAMES, 2015 IECC COMPLIANT |



**1 LEVEL 1 FLOOR PLAN**  
SCALE 1/16" = 1'-0"

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Boston, MA 02210  
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www.ShepleyBulfinch.com

**Shepley Bulfinch**

NO.	DATE	DESCRIPTION

KEY PLAN  
**CA VENTURES**

OWNER  
**Rise at Chauncey**  
100 S. Chauncey Ave.  
West Lafayette, IN 47906

PROJECT  
**LEVEL 1 FLOOR PLAN**

DRAWING TITLE	
As indicated	DATE 2016-12-16
JOB NUMBER 4100	
SUBMISSION	

**A101**

DRAWING NUMBER

THE ORIGINAL OF THIS DRAWING IS 24" X 36". IF THIS COPY IS ANY OTHER SIZE, IT HAS EITHER BEEN REDUCED OR ENLARGED. TAKE APPROPRIATE PRECAUTIONS ACCORDINGLY.

20161217 3:17:09 PM  
C:\Users\jrburton\Documents\100\_CHAUNCEY\_CENTRAL\_NEW\_ARCH.dwg  
**Rise at Chauncey**

**ROOM LEGEND**

- STUDIO
- 2X2
- Vert Circ
- 4X4
- 1X1
- AMENITY
- AMENITY DECK



**GENERAL NOTES**

1. SEE SHEET G001 FOR BUILDING AND PARKING SUMMARY
2. SEE SHEET G001 FOR GROSS AREA SCHEDULE
3. ALL PARKING GARAGES SHALL HAVE MINIMUM 7'-4" CLEARANCE AT ENTRANCES AND AISLES.
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**KEYNOTE LEGEND**

- 03-25 CONCRETE STAIR CORE
- 03-26 CONCRETE STAIR/ELEVATOR CORE

**1 LEVEL 2 PLAN**  
SCALE 1/16" = 1'-0"

**Shepley Bulfinch**

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Architecture / Planning / Interiors / Est. 1874

2 Seaport Lane  
Boston, MA 02210  
T: 617.423.1700 | F: 617.334.9591  
www.ShepleyBulfinch.com

NO.	DATE	DESCRIPTION

KEY PLAN	
----------	--

**CA VENTURES**

OWNER

**Rise at Chauncey**  
100 S. Chauncey Ave.  
West Lafayette, IN 47906

PROJECT

**LEVEL 2 FLOOR PLAN**

DRAWING TITLE	
---------------	--

SCALE	As indicated	DATE	2016-12-16
JOB NUMBER	4100		

SUBMISSION

A102

**ROOM LEGEND**

- STUDIO
- 2X2
- Vert Circ
- 4X4
- 1X1
- PARKING
- 3X3



**1 LEVEL 3 - 13 FLOOR PLAN**  
SCALE 1/16" = 1'-0"

**GENERAL NOTES**

1. SEE SHEET G001 FOR BUILDING AND PARKING SUMMARY
2. SEE SHEET G001 FOR GROSS AREA SCHEDULE
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**KEYNOTE LEGEND**

**Shepley Bulfinch**

Shepley Bulfinch Richardson & Abbott  
Architecture / Planning / Interiors / Est. 1874

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www.ShepleyBulfinch.com

NO.	DATE	DESCRIPTION

KEY PLAN

**CA VENTURES**

OWNER

**Rise at Chauncey**  
100 S. Chauncey Ave.  
West Lafayette, IN 47906

**LEVEL 3 - 13 FLOOR PLAN**

DRAWING TITLE

SCALE As indicated DATE 2016-12-16

JOB NUMBER 4100

SUBMISSION

A103

DRAWING NUMBER

**ROOM LEGEND**

- STUDIO
- 2X2
- Vert Circ
- 4X4
- 1X1
- AMENITY DECK



**GENERAL NOTES**

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**KEYNOTE LEGEND**

03-26 CONCRETE STAIR/ELEVATOR CORE

**1 LEVEL 14 FLOOR PLAN**  
SCALE 1/16" = 1'-0"

Shepley Bulfinch Richardson & Abbott  
Architecture / Planning / Interiors / Est. 1874  
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www.ShepleyBulfinch.com

NO.	DATE	DESCRIPTION

KEY PLAN

**CA VENTURES**

OWNER

**Rise at Chauncey**  
100 S. Chauncey Ave.  
West Lafayette, IN 47906

PROJECT

**LEVEL 14 FLOOR PLAN**

DRAWING TITLE

SCALE As indicated DATE 2016-12-16

JOB NUMBER 4100

SUBMISSION

**A104**

DRAWING NUMBER

**GENERAL NOTES**

1. SEE SHEET G001 FOR BUILDING AND PARKING SUMMARY
2. SEE SHEET G001 FOR GROSS AREA SCHEDULE
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**KEYNOTE LEGEND**



**1 LEVEL 15 FLOOR PLAN**  
 SCALE 1/16" = 1'-0"

NO.	DATE	DESCRIPTION
-----	------	-------------

KEY PLAN

**CA VENTURES**

OWNER

**Rise at Chauncey**  
 100 S. Chauncey Ave.  
 West Lafayette, IN 47906

PROJECT

**LEVEL 15 FLOOR PLAN**

DRAWING TITLE

SCALE As indicated DATE 2016-12-16

JOB NUMBER 4100

SUBMISSION

**A105**

DRAWING NUMBER

**ROOM LEGEND**

- STUDIO
- 2X2
- Vert Circ
- 4X4
- 1X1
- SERVICE
- AMENITY DECK



**1 LEVEL 16 FLOOR PLAN**  
SCALE 1/16" = 1'-0"

**GENERAL NOTES**

1. SEE SHEET G001 FOR BUILDING AND PARKING SUMMARY
2. SEE SHEET G001 FOR GROSS AREA SCHEDULE
3. ALL PARKING GARAGES SHALL HAVE MINIMUM 7'-4" CLEARANCE AT ENTRANCES AND AISLES.
4. GARAGES SHALL COMPLY WITH MINIMUM FOOTCANDLE LIGHTING PER BUILDING AND ELECTRICAL CODE. THIS WILL BE SHOWN ON THE CONSTRUCTION PLANS.
5. DIRECTIONAL PAVEMENT MARKING AND SIGNAGE INDICATING TRAFFIC FLOW SHALL BE INCLUDED IN THE CONSTRUCTION PLANS.
6. FINAL GARAGE LIGHTING DETAILS SHALL BE APPROVED BY THE ADMINISTRATIVE OFFICER WITH THE SUBMISSION OF THE FINAL DETAILED PLANS.

**KEYNOTE LEGEND**

03-26 CONCRETE STAIR/ELEVATOR CORE

**Shepley Bulfinch**

Shepley Bulfinch Richardson & Abbott  
Architecture / Planning / Interiors / Est. 1874

2 Seaport Lane  
Boston, MA 02210  
T: 617.423.1700 | F: 800.934.9691  
www.ShepleyBulfinch.com

NO.	DATE	DESCRIPTION

KEY PLAN

**CA VENTURES**

OWNER

**Rise at Chauncey**  
100 S. Chauncey Ave.  
West Lafayette, IN 47906

PROJECT

**LEVEL 16 FLOOR PLAN**

DRAWING TITLE

SCALE As indicated DATE 2016-12-16

JOB NUMBER 4100

SUBMISSION

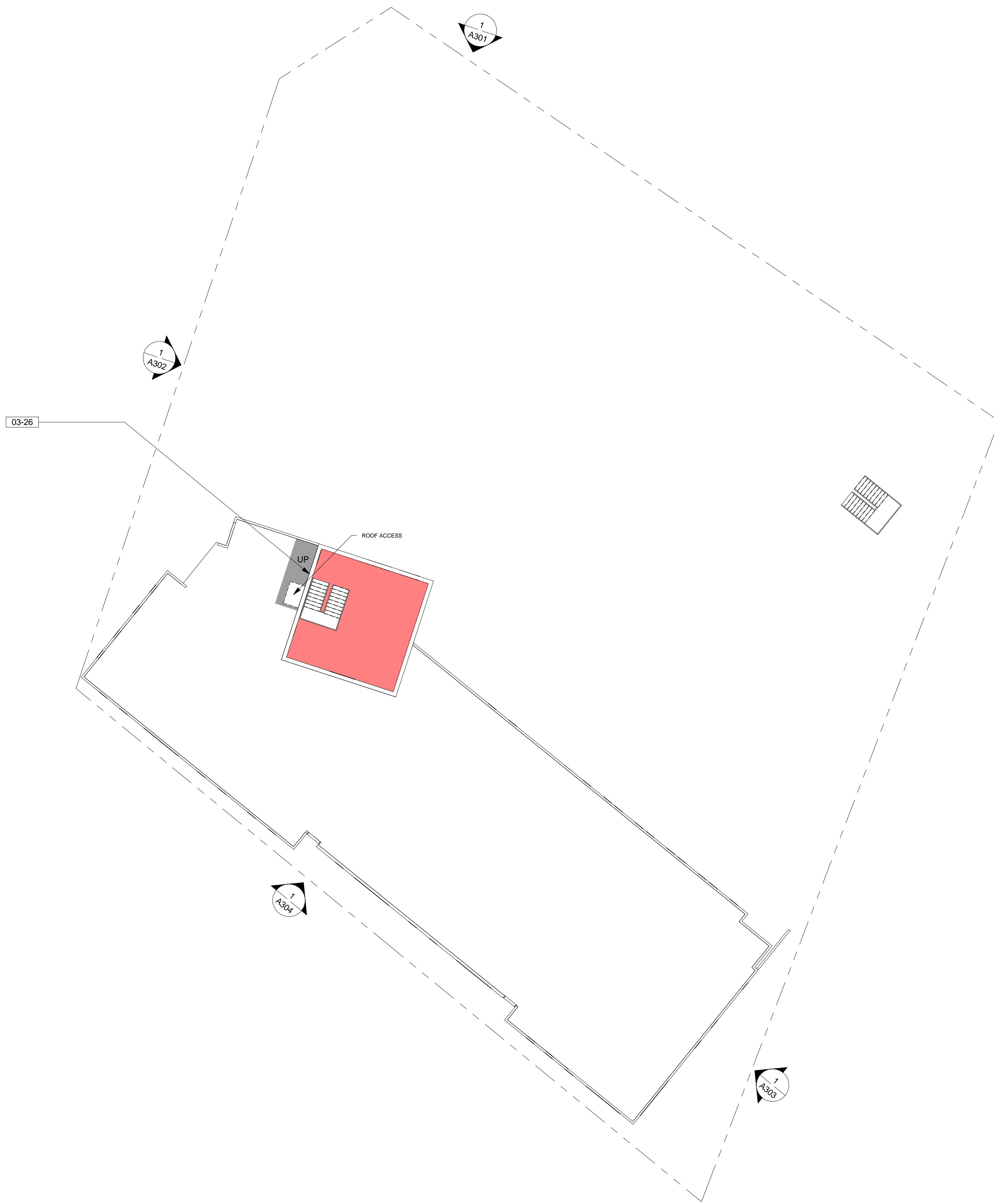
A106

DRAWING NUMBER



**ROOM LEGEND**

- Vert Circ
- SERVICE



**1 ROOF PLAN**  
SCALE 1/16" = 1'-0"

**GENERAL NOTES**

1. SEE SHEET G001 FOR BUILDING AND PARKING SUMMARY
2. SEE SHEET G001 FOR GROSS AREA SCHEDULE
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6. FINAL GARAGE LIGHTING DETAILS SHALL BE APPROVED BY THE ADMINISTRATIVE OFFICER WITH THE SUBMISSION OF THE FINAL DETAILED PLANS.

**KEYNOTE LEGEND**

03-26 CONCRETE STAIR/ELEVATOR CORE

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www.ShepleyBulfinch.com

NO.	DATE	DESCRIPTION

KEY PLAN
----------

<b>CA VENTURES</b>
OWNER
<b>Rise at Chauncey</b> 100 S. Chauncey Ave. West Lafayette, IN 47906
PROJECT

<b>ROOF PLAN</b>
DRAWING TITLE

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SCALE	DATE
As indicated	2016-12-16
JOB NUMBER	4100

SUBMISSION
A107
DRAWING NUMBER

FEATURES	
KEY	DESCRIPTION
05-03	STEEL TRELLIS, FLAT BLACK POWDER COAT

GLAZING	
KEY	DESCRIPTION
08-01	ALUMINUM WINDOW GLAZING SYSTEM, CLEAR INSULATED LOW-E DUAL PANE, BLACK FRAMES, 2015 IECC COMPLIANT

METALS	
KEY	DESCRIPTION
05-19	METAL PANEL 1 - CORRUGATED PROFILE, SILVER KYNAR FINISH
05-20	METAL PANEL 2 - CORRUGATED PROFILE, CHARCOAL KYNAR FINISH
05-21	METAL PANEL 3 - CORRUGATED PROFILE, CHAMPAGNE METALLIC KYNAR FINISH

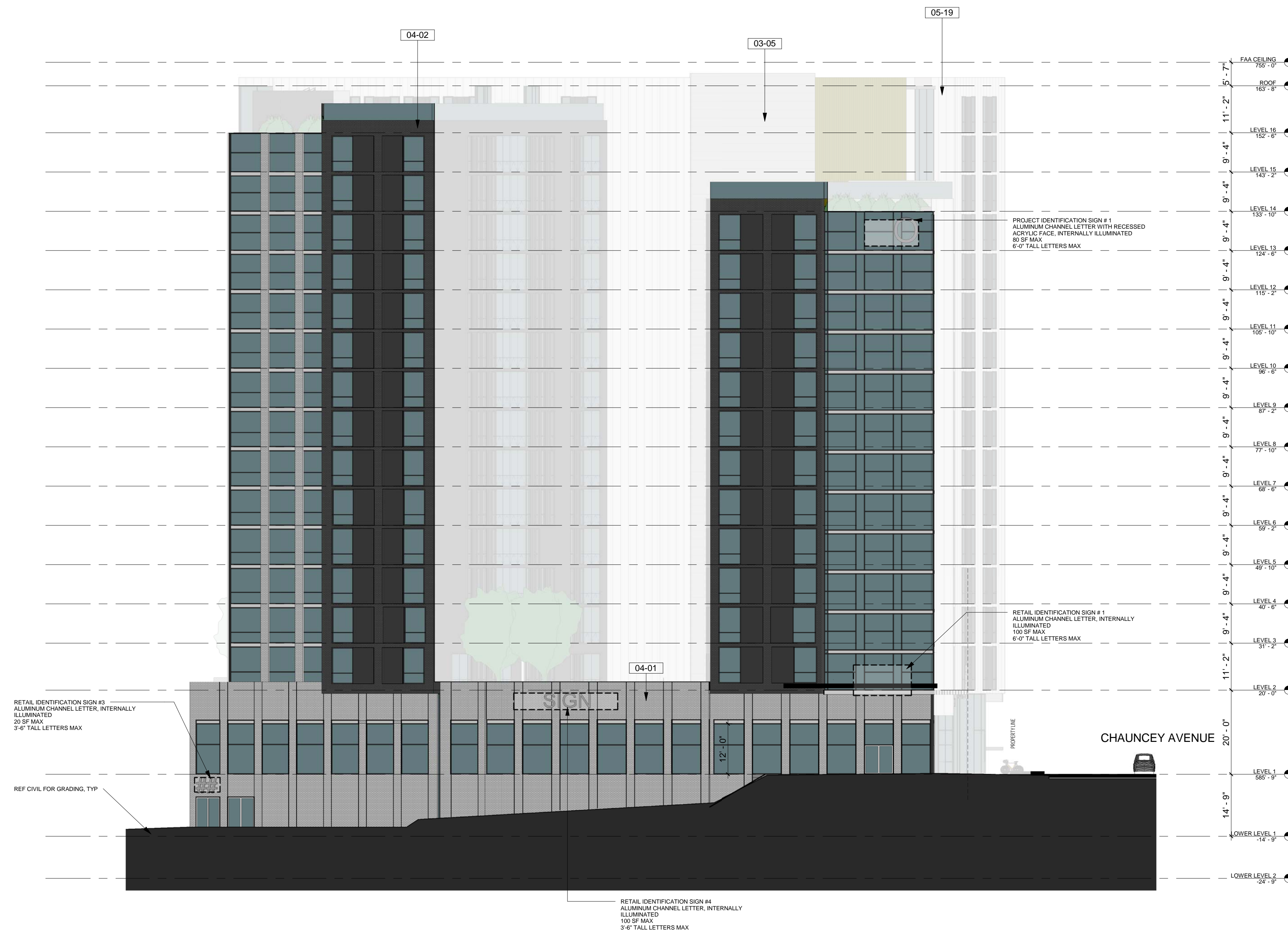
MASONRY	
KEY	DESCRIPTION
04-01	CONCRETE MASONRY UNIT - INTEGRAL COOL GREY COLOR, COOL GRAY MORTAR COLOR
04-02	BRICK 2 - UTILITY SIZE, CHARCOAL COLOR, GRAY MORTAR COLOR
03-05	CAST IN PLACE CONCRETE

### GENERAL NOTES

- SEE SHEET G001 FOR BUILDING AND PARKING SUMMARY
- SEE SHEET G001 FOR GROSS AREA SCHEDULE
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### KEYNOTE LEGEND

- 03-05 EXPOSED ARCHITECTURAL CONC CORE WALL
- 04-01 BRICK CLADDING 1; TAN BLEND COLOR
- 04-02 BRICK CLADDING 2; CHARCOAL COLOR
- 05-19 METAL PANEL 1; CORRUGATED PANEL, SILVER FINISH



**1 STATE STREET ELEVATION**  
SCALE 1/16" = 1'-0"

NO.	DATE	DESCRIPTION

KEY PLAN

**CA VENTURES**

OWNER

**Rise at Chauncey**  
100 S. Chauncey Ave.  
West Lafayette, IN 47906

PROJECT

**EXTERIOR ELEVATIONS**

DRAWING TITLE

SCALE As indicated DATE 2016-12-16

JOB NUMBER 4100

SUBMISSION

**A301**

DRAWING NUMBER

FEATURES	
KEY	DESCRIPTION
05-03	STEEL TRELLIS, FLAT BLACK POWDER COAT

GLAZING	
KEY	DESCRIPTION
08-01	ALUMINUM WINDOW GLAZING SYSTEM, CLEAR INSULATED LOW-E DUAL PANE, BLACK FRAMES, 2015 IECC COMPLIANT

METALS	
KEY	DESCRIPTION
05-19	METAL PANEL 1 - CORRUGATED PROFILE, SILVER KYNAR FINISH
05-20	METAL PANEL 2 - CORRUGATED PROFILE, CHARCOAL KYNAR FINISH
05-21	METAL PANEL 3 - CORRUGATED PROFILE, CHAMPAGNE METALLIC KYNAR FINISH

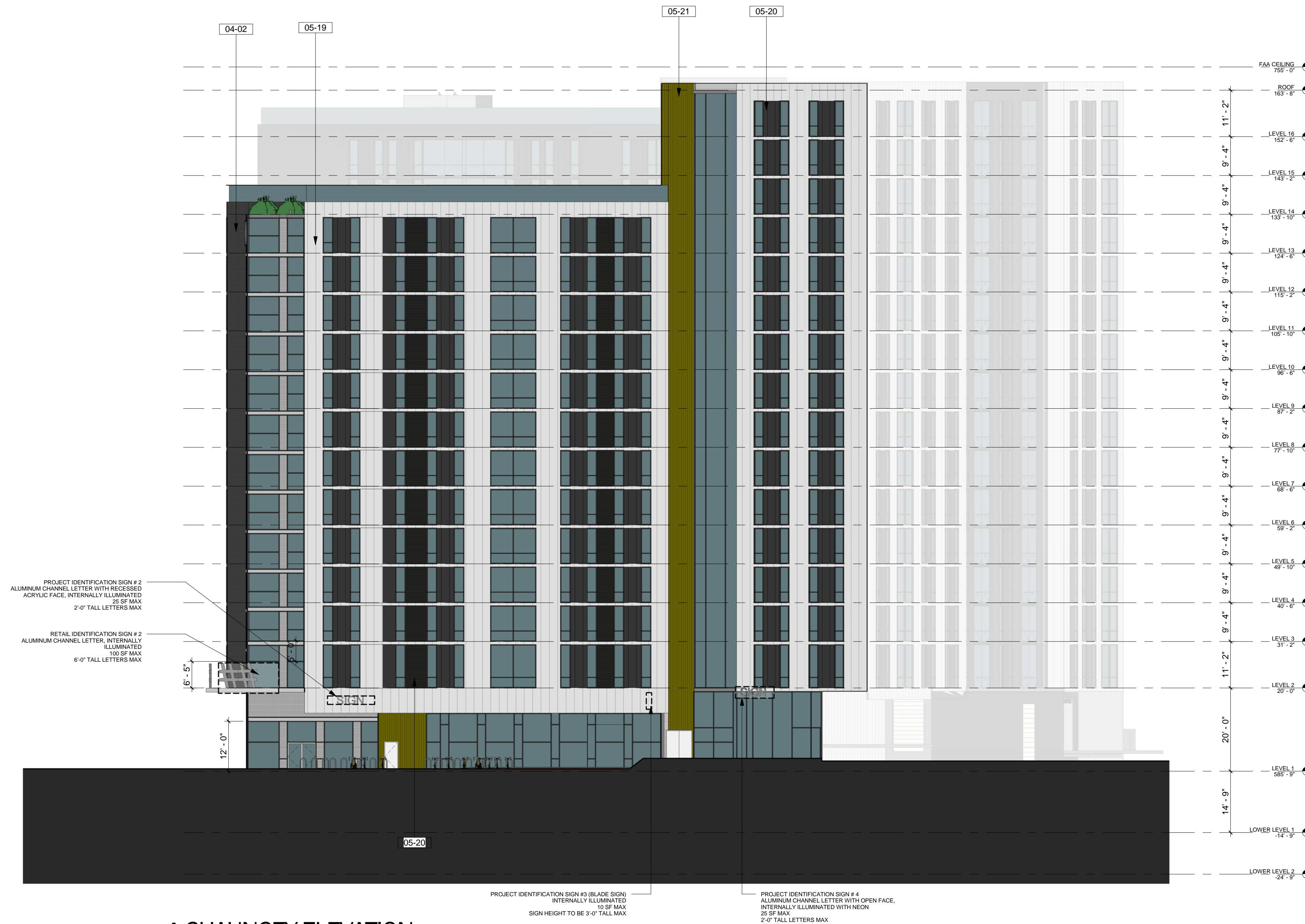
MASONRY	
KEY	DESCRIPTION
04-01	CONCRETE MASONRY UNIT - INTEGRAL COOL GREY COLOR, COOL GRAY MORTAR COLOR
04-02	BRICK 2 - UTILITY SIZE, CHARCOAL COLOR, GRAY MORTAR COLOR
03-05	CAST IN PLACE CONCRETE

### GENERAL NOTES

- SEE SHEET G001 FOR BUILDING AND PARKING SUMMARY
- SEE SHEET G001 FOR GROSS AREA SCHEDULE
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### KEYNOTE LEGEND

- |       |  |
|-------|--|
| 04-02 | BRICK CLADDING 2; CHARCOAL COLOR                 |
| 05-19 | METAL PANEL 1; CORRUGATED PANEL, SILVER FINISH   |
| 05-20 | METAL PANEL 2; CORRUGATED PANEL, CHARCOAL FINISH |
| 05-21 |  |



**1 CHAUNCEY ELEVATION**  
SCALE 1/16" = 1'-0"

NO.	DATE	DESCRIPTION

OWNER  
**CA VENTURES**

PROJECT  
**Rise at Chauncey**  
100 S. Chauncey Ave.  
West Lafayette, IN 47906

DRAWING TITLE  
**EXTERIOR ELEVATIONS**

SCALE: As indicated DATE: 2016-12-16

JOB NUMBER: 4100

DRAWING NUMBER  
**A302**

THE ORIGINAL OF THIS DRAWING IS 24" X 36". IF THIS COPY IS ANY OTHER SIZE, IT HAS EITHER BEEN REDUCED OR ENLARGED. TAKE APPROPRIATE PRECAUTIONS ACCORDINGLY.

FEATURES	
KEY	DESCRIPTION
05-03	STEEL TRELLIS, FLAT BLACK POWDER COAT

GLAZING	
KEY	DESCRIPTION
08-01	ALUMINUM WINDOW GLAZING SYSTEM, CLEAR INSULATED LOW-E DUAL PANE, BLACK FRAMES, 2015 IECC COMPLIANT

METALS	
KEY	DESCRIPTION
05-19	METAL PANEL 1 - CORRUGATED PROFILE, SILVER KYNAR FINISH
05-20	METAL PANEL 2 - CORRUGATED PROFILE, CHARCOAL KYNAR FINISH
05-21	METAL PANEL 3 - CORRUGATED PROFILE, CHAMPAGNE METALLIC KYNAR FINISH

MASONRY	
KEY	DESCRIPTION
04-01	CONCRETE MASONRY UNIT - INTEGRAL COOL GREY COLOR, COOL GRAY MORTAR COLOR
04-02	BRICK 2 - UTILITY SIZE, CHARCOAL COLOR, GRAY MORTAR COLOR
03-05	CAST IN PLACE CONCRETE

## GENERAL NOTES

- SEE SHEET G001 FOR BUILDING AND PARKING SUMMARY
- SEE SHEET G001 FOR GROSS AREA SCHEDULE
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## KEYNOTE LEGEND

- |       |  |
|-------|--|
| 04-01 | BRICK CLADDING 1; TAN BLEND COLOR  |
| 04-02 | BRICK CLADDING 2; CHARCOAL COLOR   |
| 05-19 | METAL PANEL 1; CORRUGATED PANEL, SILVER FINISH   |
| 05-20 | METAL PANEL 2; CORRUGATED PANEL, CHARCOAL FINISH   |
| 08-01 | ALUMINUM WINDOW GLAZING SYSTEM, CLEAR INSULATED LOW-E DUAL PANE, BLACK FRAMES, 2015 IECC COMPLIANT |



**1 SOUTHEAST ELEVATION**  
SCALE 1/16" = 1'-0"

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www.ShepleyBulfinch.com

**Shepley Bulfinch**

NO.	DATE	DESCRIPTION

KEY PLAN

**CA VENTURES**

OWNER

**Rise at Chauncey**  
100 S. Chauncey Ave.  
West Lafayette, IN 47906

PROJECT

**EXTERIOR ELEVATIONS**

DRAWING TITLE

SCALE	As indicated	DATE	2016-12-16
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JOB NUMBER	4100
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SUBMISSION

**A303**

DRAWING NUMBER

FEATURES	
KEY	DESCRIPTION
05-03	STEEL TRELLIS, FLAT BLACK POWDER COAT

GLAZING	
KEY	DESCRIPTION
08-01	ALUMINUM WINDOW GLAZING SYSTEM, CLEAR INSULATED LOW-E DUAL PANE, BLACK FRAMES, 2015 IECC COMPLIANT

METALS	
KEY	DESCRIPTION
05-19	METAL PANEL 1 - CORRUGATED PROFILE, SILVER KYNAR FINISH
05-20	METAL PANEL 2 - CORRUGATED PROFILE, CHARCOAL KYNAR FINISH
05-21	METAL PANEL 3 - CORRUGATED PROFILE, CHAMPAGNE METALLIC KYNAR FINISH

MASONRY	
KEY	DESCRIPTION
04-01	CONCRETE MASONRY UNIT - INTEGRAL COOL GREY COLOR, COOL GRAY MORTAR COLOR
04-02	BRICK 2 - UTILITY SIZE, CHARCOAL COLOR, GRAY MORTAR COLOR
03-05	CAST IN PLACE CONCRETE

### GENERAL NOTES

- SEE SHEET G001 FOR BUILDING AND PARKING SUMMARY
- SEE SHEET G001 FOR GROSS AREA SCHEDULE
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### ? ELEVATION MATERIAL NOTES

SCALE 1 1/2" = 1'-0"

### KEYNOTE LEGEND

- 04-02 BRICK CLADDING 2; CHARCOAL COLOR  
 05-19 METAL PANEL 1; CORRUGATED PANEL, SILVER FINISH



### 1 ALLEY ELEVATION

SCALE 1/16" = 1'-0"

NO.	DATE	DESCRIPTION

KEY PLAN

CA VENTURES

OWNER

Rise at Chauncey  
 100 S. Chauncey Ave.  
 West Lafayette, IN 47906

PROJECT

EXTERIOR ELEVATIONS

DRAWING TITLE

SCALE As indicated DATE 2016-12-16

JOB NUMBER 4100

SUBMISSION

A304

DRAWING NUMBER



**3** VIEW FROM WEST  
SCALE



**1** VIEW FROM SOUTHWEST  
SCALE



**4** VIEW FROM NORTHEAST  
SCALE



**2** VIEW FROM NORTH  
SCALE

NO.	DATE	DESCRIPTION

KEY PLAN

**CA VENTURES**

OWNER

**Rise at Chauncey**  
100 S. Chauncey Ave.  
West Lafayette, IN 47906

PROJECT

**PERSPECTIVE VIEWS**

DRAWING TITLE

SCALE DATE 2016-12-16

JOB NUMBER 4100

SUBMISSION

**A305**

DRAWING NUMBER



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**Z-2676**  
**CASL HOLDINGS, LLC**  
**RISE AT CHAUNCEY PLANNED DEVELOPMENT**  
**CBW TO PDMX**

**Staff Report**  
**February 9, 2016**

---

**REQUEST MADE, PROPOSED USE, LOCATION:**

Petitioner with consent of the owners and represented by attorney Daniel Teder, is requesting PDMX zoning on approximately 0.85 acres in order to construct a mixed-use building that steps from a ground floor retail podium into three wings at a height of 13-stories (west wing), 15-stories (east wing), and 16-stories (south wing). In all, the building contains a maximum of 300 units with 675 bedrooms, approximately 21,000 square feet of ground floor retail, and a 217 space internal parking garage. The property is located at 100 S. Chauncey Avenue on the corner of State Street and S. Chauncey Avenue in the City of West Lafayette; Wabash 19(NE) 23-4.

**ZONING HISTORY AND AREA ZONING PATTERNS:**

The subject property is presently zoned CBW Central Business West Lafayette as are most of the properties surrounding the site. Most rezone actions in the vicinity have been PDs and include: The Hub at West Lafayette PDMX (Z-2654), 302 Vine Street PDMX (Z-2641), Alpha Omicron Pi PDRS (Z-2618), Grant Street Station PDMX (Z-2589), South Street Station PDRS (Z-2574), 225 Northwestern Avenue PDMX (Z-2562), State Street Corner PDMX (Z-2482), Chauncey Square PDMX (Z-2454), University Terrace PDMX (Z-2450), Chipotle PDNR (Z-2255), Chauncey Townhouses PDRS (Z-2216), Villa on Pierce Street PDMX (Z-2122), West Lafayette Public Library PDNR (Z-2109) and State Street Commons PDMX (Z-1966).

**AREA LAND USE PATTERNS:**

The subject property is located at the core of Chauncey Village's historic central business district and is surrounded by an increasingly dense mix of commercial and residential uses. The subject property is presently the site of the University Lutheran Church. To the west, across Chauncey Avenue, is the Chauncey Hill Mall. To the south, across a public alley are student apartment buildings. To the north, across State Street, is the Chauncey Hill Annex commercial building. Immediately adjacent to the east, property is undeveloped.

**TRAFFIC AND TRANSPORTATION:**

State Street and Chauncey Avenue are classified as primary arterials according to the adopted *Thoroughfare Plan*. Sufficient right-of-way is already in place for the State Street reconstruction project as well as for the project's streetscape improvements planned along both street frontages. In order to accommodate an increase in traffic, the existing 15-foot public alley on the project's southern boundary will be widened to 17.5-feet, initially along the project's boundary only. As properties redevelop to the east and on either side of this alley, similar dedications will bring the alley's total width to 20-feet. Vehicular access to the project's trash dock and three underground parking levels will be off the alley while access to the project's loading dock will be directly off of Chauncey Avenue. A secondary loading zone and potential bus stop will also be placed along the Chauncey Avenue frontage. There will be significant updates to the streetscapes along the site's two street frontages to complement the project. They consist of both sidewalk and plaza spaces. The existing 5-foot sidewalks along both State Street and Chauncey Avenue will be replaced with 8-foot sidewalks and 4-foot tree strips. Behind the sidewalks, the project's plaza spaces range in width from 9-feet to nearly 26-feet, providing space for outdoor seating and safe pedestrian circulation to the project's retail and residential lobby spaces.



The project contains 217 off-street parking spaces in three below-grade garage levels, all connected by ramps. There will be 23 spaces reserved for the retail use on the first garage level with the remaining 194 spaces reserved for residential use at a residential parking ratio of nearly 65% or 0.65 spaces per unit (The Hub at West Lafayette Planned Development was approved at a rate of 0.56 spaces per unit by comparison). The garage levels also provide parking for up to 25 motorcycles or mopeds and 196 bicycle parking spaces. Additionally, four parking spaces may be reserved for a car sharing service, should a company such as Zipcar choose to locate within the project.

#### **ENVIRONMENTAL AND UTILITY CONSIDERATIONS:**

City utilities and Indiana American water are available to serve the site. Along with the aforementioned public sidewalks and plaza expansions on the ground level, the project is incorporating rooftop open space and greenspace amenities for the enjoyment of the project's residents. On the first floor roof (retail podium) there will be two distinct open space amenities that will include lawn games, outdoor seating, study areas, a fire pit, and landscaping. The thirteenth floor roof of the building's west wing will accommodate an open-air gathering space and contain a variety of seating and landscaped areas. Finally, the fifteenth floor roof of the building's east wing will contain a pool, spa, lounge chair seating areas and landscaping.

#### **AIRPORT OVERLAY AND FEDERAL AVIATION ADMINISTRATION COMPLIANCE:**

While not the tallest building in the community (the Tippecanoe County Courthouse remains the tallest at approximately 226-feet to the top of the liberty statue or 776-feet above mean sea level) the Rise at Chauncey Planned Development is the first high-rise development in the City of West Lafayette to test the limits of the Airport Overlay (a zoning ordinance imposed set of height restrictions around the Purdue University Airport meant to work in concert with Federal Aviation Administration regulations). Originally planned at a height of 200 feet and 18-stories, the first proposal failed both the Airport Overlay's and FAA's requirements. With the conclusion of project negotiations, the project's maximum height fell to approximately 164-feet, 16-stories and 751-feet above mean sea level (which means the courthouse is still 25-feet taller than "Rise" in overall height based on mean sea level). This new height was found to be compliance with both the Airport Overlay and the FAA.

#### **STAFF COMMENTS:**

The location of the Rise at Chauncey is a true arrival point in the City of West Lafayette and the negotiated design of this high-rise project takes full advantage of the site's potential. From the beginning of our negotiations, staff maintained a commitment to a final design that would achieve an optimal use for the property while being sensitive to the project's place in the larger central business district of Chauncey Village. As mentioned earlier in this report, the building consists of large single-story retail podium below three upper-story wings that rise to 13, 15, and 16-stories. The 13-story west wing lies along the Chauncey Avenue frontage. The 15-story east wing lies along the eastern property boundary and State Street and the 16-story south wing lies along the project's alley in the back of the site. By setting back the tallest portion of the building nearly 130-feet from State Street and dividing the rest of the building's mass into two wings that step down in height and leave large open spaces on the first floor podium roof, the overall visual impact from the street is significantly lessened. Additionally, the east and west wings have been strategically positioned on the project's retail podium to open the view – as one travels west on State Street - to the true top of the hill: The block directly west of the site across Chauncey Avenue (presently the site of the Chauncey Hill Mall). This block is the heart of Chauncey Village and, because of the design of Rise at Chauncey, when the site eventually redevelops the sense of arrival will be even more accentuated as opposed to obstructed.

Set in a downtown, pedestrian oriented environment, the “Rise” is designed completely with the needs of the pedestrian in mind. Along the Chauncey Avenue frontage, the residential lobby, main retail entrance, and large plaza space that connects them to the sidewalk is fully accessible from the sidewalk and the busy pedestrian crossing at the corner of State Street and Chauncey Avenue. Along the State Street frontage, where the grade begins to drop and part the first garage level is at grade with the sidewalk, another opportunity to create a fully accessible entrance has been achieved. While a series of terraces and landings (constituting a lower plaza on State Street) step up from the sidewalk on State Street to the main plaza on Chauncey Avenue, an alternative retail entrance has been placed in the northeast corner of the building. This fully accessible entrance provides direct access to the retail parking level and a dedicated retail elevator which rises directly into the retail space. An internal entrance in the retail space from the residential lobby will also be constructed for the benefit of the residents.

Given the multiple indoor and outdoor amenity spaces for the residents, the building was purposely designed not to have balconies for individual units. This provided a challenge architecturally because balconies normally serve dual purposes on prominent buildings: providing a unit amenity while breaking up what would normally be a flat building façade. At staff’s direction, the Rise at Chauncey has incorporated multiple “layers” of architectural elements on each façade to provide more visual interest and depth. The signage program complements the architecture and limits the project to two building identification signs located at the top of the east and west wings with the remaining building identification and retail signage limited to specifically designated places between the first and second floors along both street frontages. While a single retailer is contemplated to lease the entire ground floor retail space, the planned development has been designed to allow the large retail space to be divided into multiple units, with appropriately sized signage allowances for each commercial tenant.

Backed by the land use policies of the *Comprehensive Plan* which call for densification to occur in established urban areas in order to discourage sprawl, and our own research (*2016 Update Tippecanoe County Student Rental Report & Survey*) which specifically targets Chauncey Village as an ideal place for urban densification given established occupancy trends and its historic prominence as West Lafayette’s downtown, the Rise at Chauncey Planned Development is the result of good planning practice intersecting with market demand. The mid-rise, mixed-use planned developments that were approved and constructed in the 1990’s and 2000’s established the foundation for a growing urban renaissance in Chauncey Village. In the post-recession 2010’s, with The Hub at West Lafayette (approved in 2016 and soon to begin construction), the State Street reconstruction project (breaking ground this spring), and now the Rise at Chauncey Planned Development, that renaissance is finally being realized.

**STAFF RECOMMENDATION:**

Approval, contingent on meeting all requirements of UZO 2-28-10 for submission of Final Detailed Plans, signed off by those noted in that section to include:

1. All sheets (other than preliminary plat) that make up the approved Preliminary Plan;
2. PD construction plans per UZO Appendix B-2; A final plat per UZO Appendix B-3 as applicable; Appropriate surety submitted with final detailed plans;
3. Final grading plan shall be in general conformance with the approved Preliminary Plans and be subject to the approval of the Administrative Officer with the submission of the Final Detailed Plans;
4. Plant schedule approved by the city’s Greenspace Administrator that is in conformance with the approved Preliminary Plan. Final design of all landscape and hardscape elements subject to the approval of the Greenspace Administrator with the submission of the Final Detailed Plans;